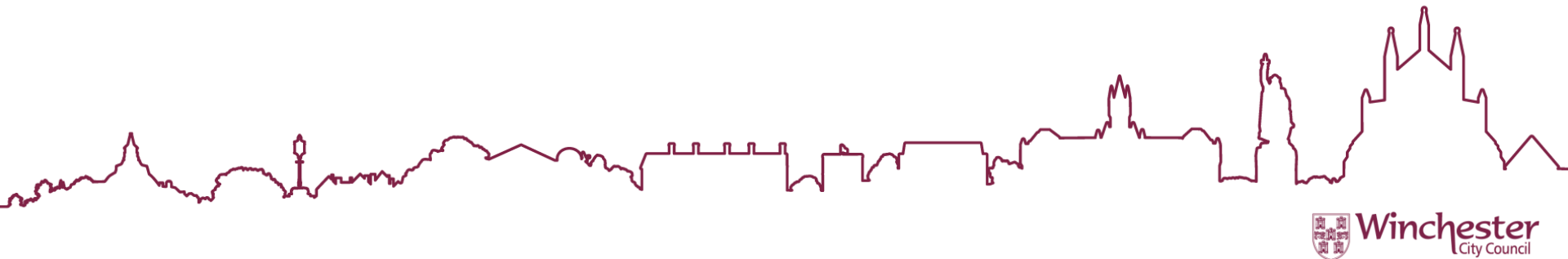


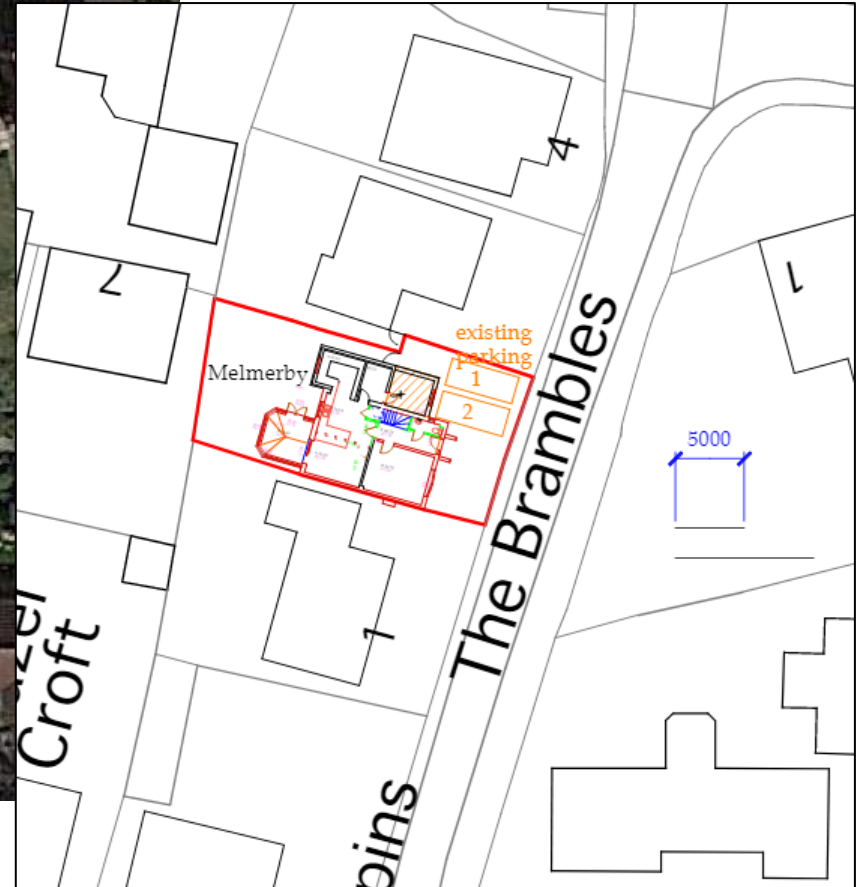
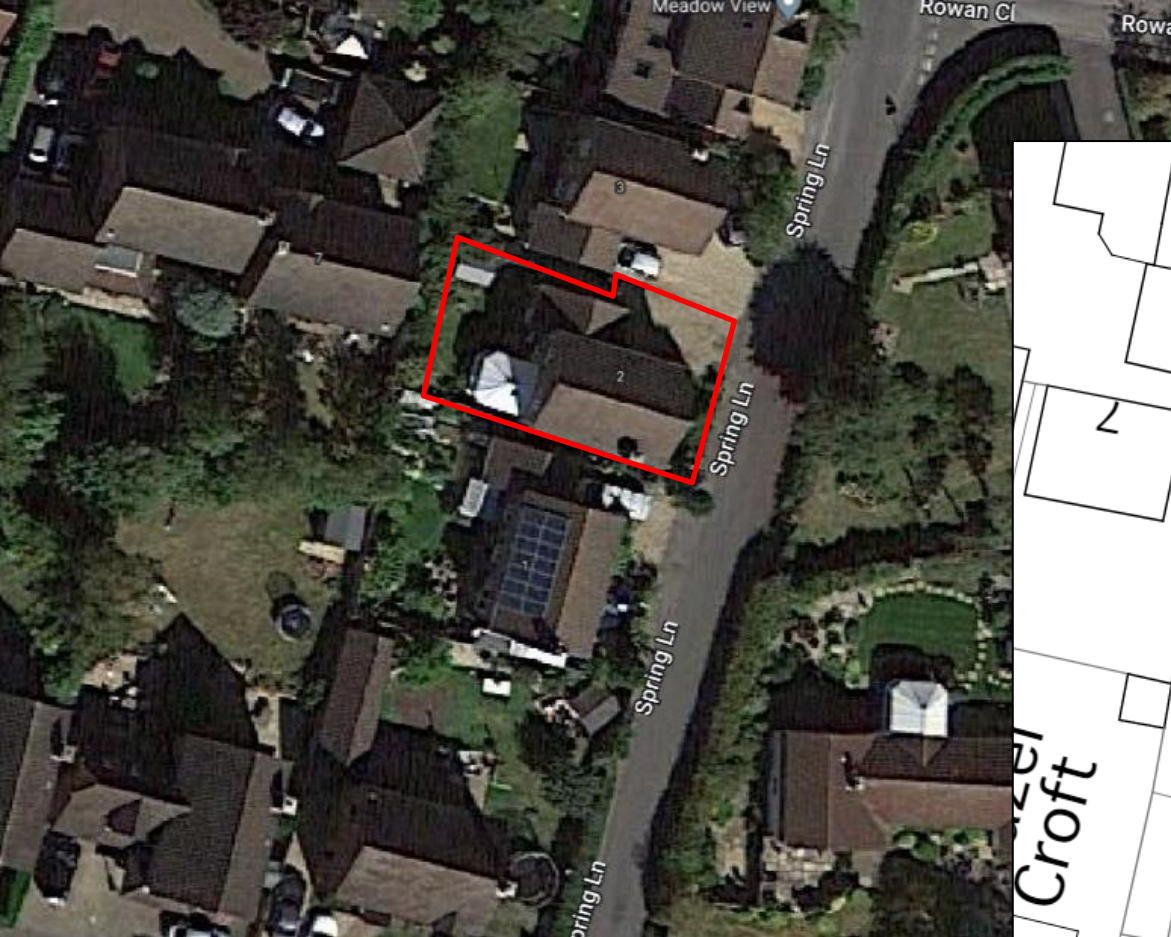
The Brambles, Melmerby, Spring Lane Swanmore, Hampshire, SO32 2PT

Extension and conversion of side garage and construction of new first floor over.

Reference : 22/01313/HOU



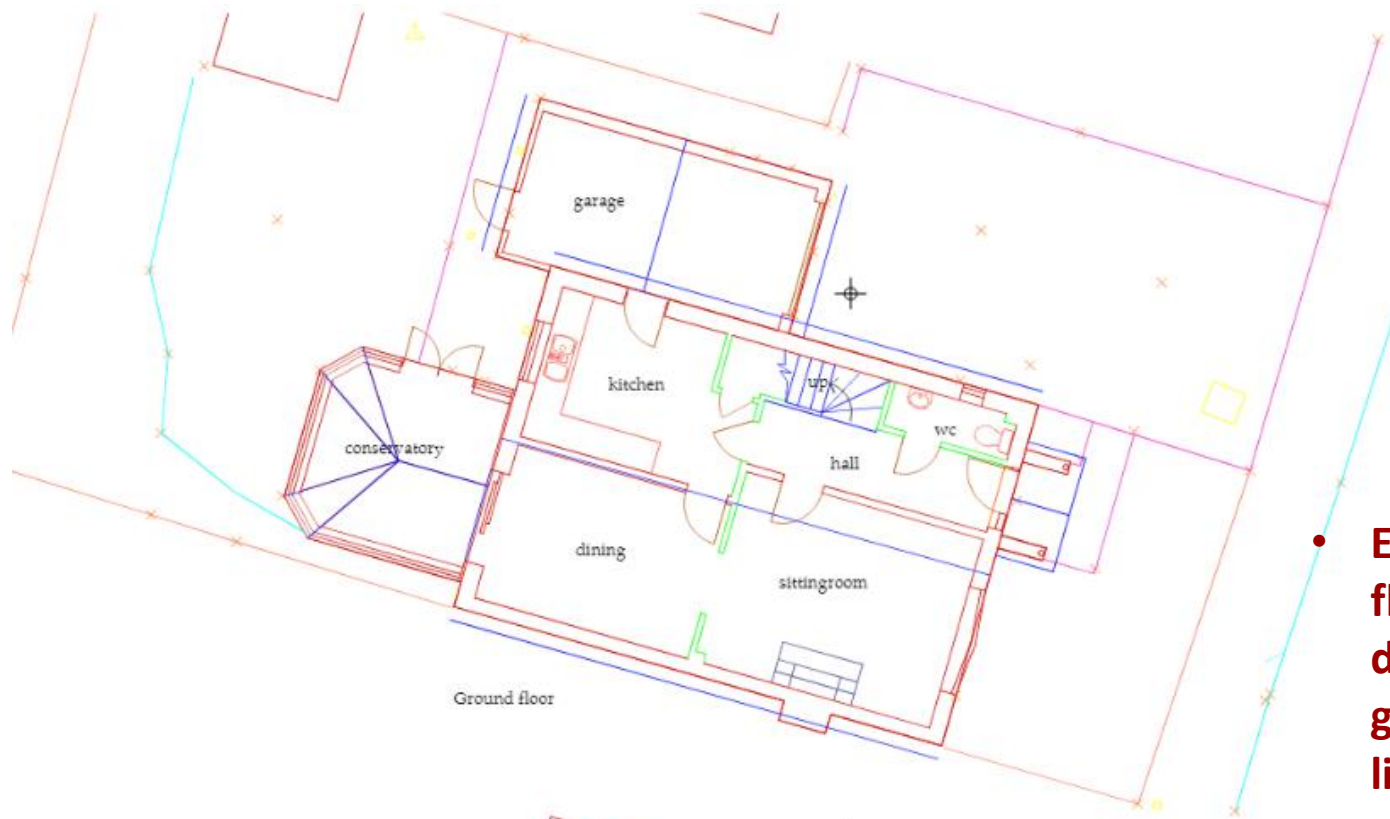




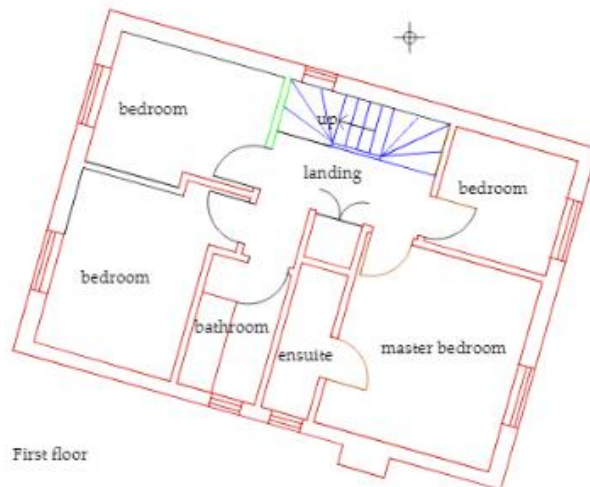
- Site 11m wide x 22m deep
- Existing site has single integral garage and 2no parking spaces along front
- Front boundary has low white picket fence with planting; fence panels to other side/rear boundaries
- Pedestrian pavement only on west side of the road



Existing Plans



Ground floor



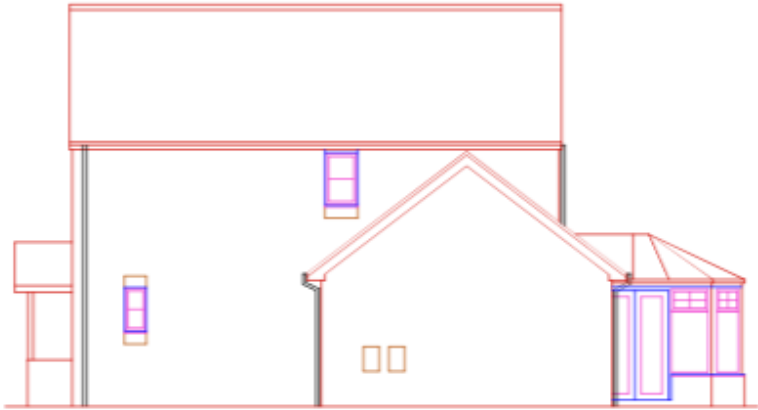
First floor



North

- Existing ground floor plan demonstrates single garage, kitchen and livings areas with conservatory
- First floor has 4 bedrooms, bathroom, ensuite

Existing Elevations



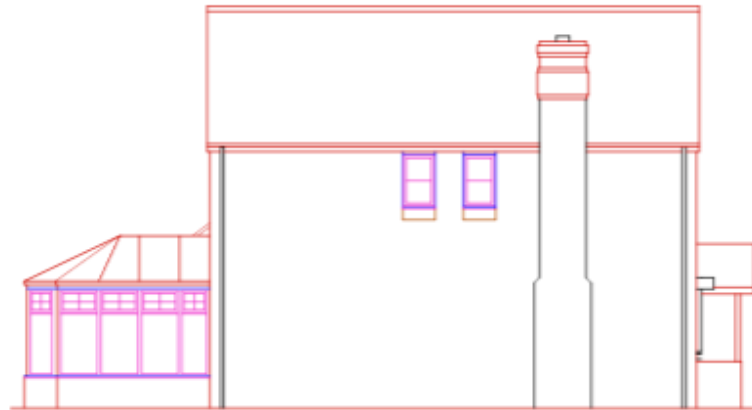
North



East (Front)



West (Rear)



South

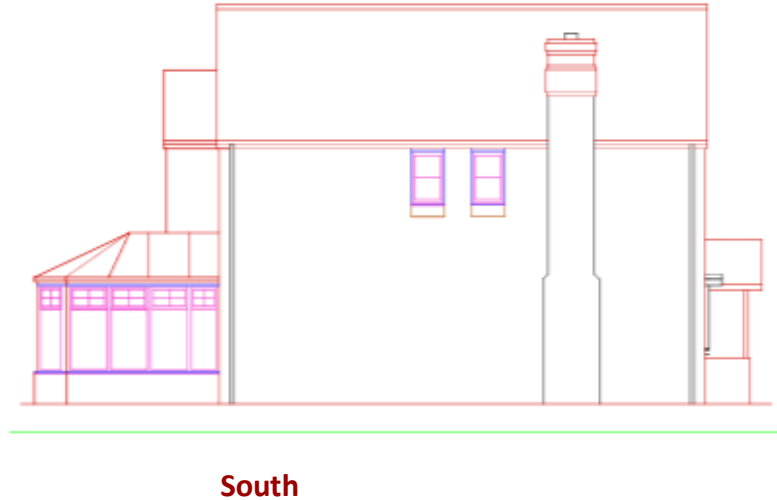
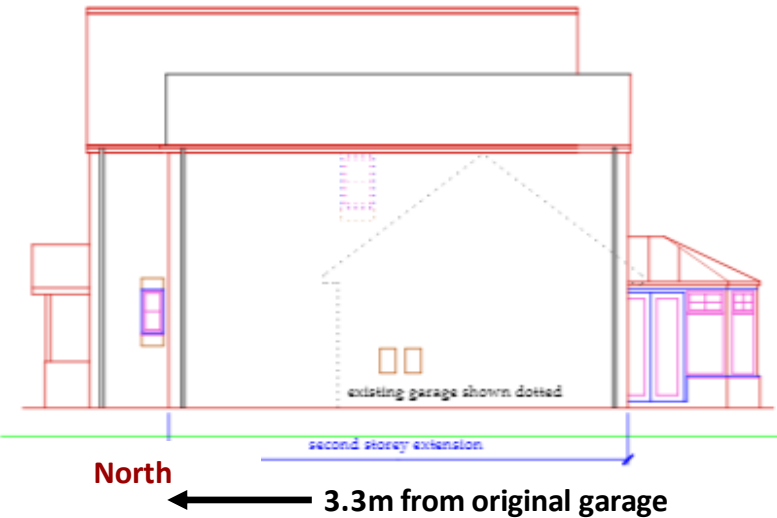
- **Materials are mixed red brick with concrete tiled roofs**
- **White fascia/doors, windows**
- **Front open porch with gabled roof; bay window to front**

Proposed Plans

- Garage conversion with front extension approx 3.3m forward, same footprint in width and rear wall as original garage
- Ground floor amended with extending kitchen and including a studio with a utility room
- First floor will extend one of the bedrooms and create a 5th bedroom with ensuite.



Proposed Elevations



- First floor extension to encompass existing garage; projecting 3.3m approx
- Height of 6.5m approx
- Similar eaves, fenestration and materials proposed

Proposed Site Plan



- Front gravel parking available for 2no vehicles, measures 2.4m x 4.8m (parallel) (space measures 5.1m wide x 5.5m deep)
- Front garden to be converted with bricked tire runs within grass; larger shrub and planting inside of picket fence removed and replaced with low-level planting
- Front garden conversion will allow 2.5m x 6.2m for parking



North

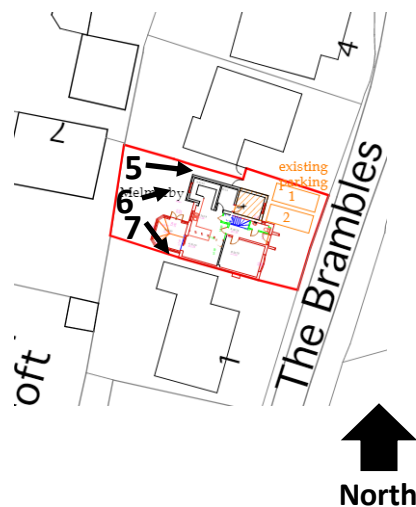
Existing Photos



Photos to compare with neighbouring dwellings (north/south)



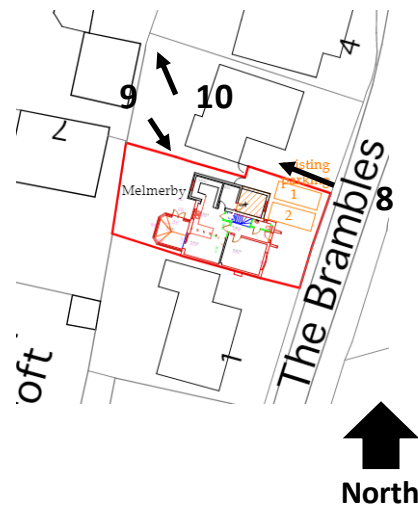
- Photo 5: Rear garden looking back through existing gap 2.4m approx
- Photo 6: View looking toward no.3's rear elevation and garage
- Photo 7: View toward no.1's rear elevation and garage



Comparison with no.3 (north)



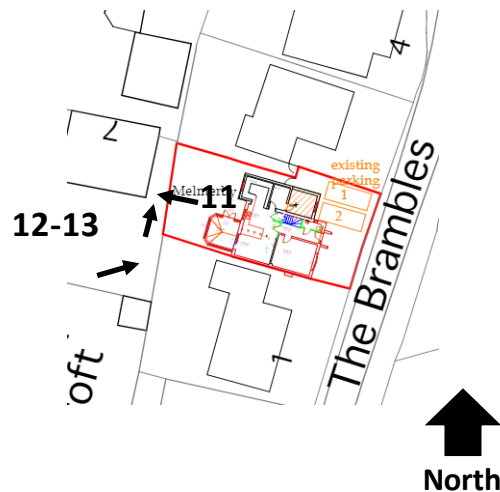
- Photo 8: GF front side window noted on no.3
- Photo 9: Position of buildings demonstrate existing views from first floor windows onto neighbouring gardens
- Photo 10: No.3 addl seating area in NW corner of site



Comparison to no.7 Leacock Close (west)



- Photo 10: view from rear of Melmerby toward no.7
- Photos 11-12: views from the rear garden of no.7 demonstrating side gap and a view toward Melmerby



Front Garden/Drive Photos



The Brambles and Spring Lane (roadside)



Recommendations for approval, subject to conditions.

